

Attachment 2 - Color Elevations and Floor Plans



STELLA & FLOYDS

MUTTLEY SQUARE

13209
BOTHELL-EVERETT HWY
MILL CREEK, WA



2813 ROCKEFELLER AVE
EVERETT, WA 98201
PHONE: 425.317.8017
FAX: 425.517.8489



Scale
Date 03/29/2019
Drawn AG/SC/SM
Checked SH

THIS PLAN AND DESIGN IS AND REMAINS THE
PROPERTY OF THE ARCHITECTS AND MAY NOT BE
USED WITHOUT PRIOR CONSENT FROM THE ARCHITECT

PERMIT

Rev	Date	Description

OFFICE PERSPECTIVE

A-0.0a

BUILDING CODE SUMMARY

CITY OF BOTHELL-MILL CREEK CURRENT CODES APPLICABLE TO THIS PROJECT:
 2015 INTERNATIONAL BUILDING CODE
 2015 WASHINGTON STATE ENERGY CODE
 2009 ICG A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
 2015 INTERNATIONAL FIRE CODE
 2017 NATIONAL ELECTRIC CODE
 2015 UNIFORM PLUMBING CODE
 2015 INTERNATIONAL MECHANICAL CODE

ZONING DESIGNATION - CB (COMMUNITY BUSINESS)

OCCUPANCY CLASSIFICATIONS:

BUSINESS GROUP B
 1ST FLOOR DOG HOUSE: 768 SF
 OCCUPANT LOAD: 768/100 GROSS = 8 PERSONS
 2ND FLOOR DOG HOUSE: 456 SF
 OCCUPANT LOAD: 456/100 GROSS = 5 PERSONS
 OFFICE: 456 SF
 OCCUPANT LOAD: 1628/ GROSS = 11 PERSONS

MERCANTILE GROUP M

RETAIL = 198 SF
 OCCUPANT LOAD: 198/60 = 4 PERSONS

CONSTRUCTION TYPE: V-B
 BUILDINGS ARE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1

IBC TABLE 504.3 ALLOWABLE BUILDING HEIGHT
 IN FEET ABOVE GRADE PLANE = 40 FT.

PROPOSED HEIGHT: DOG HOUSES: 24'-9"
 OFFICE: 18'-6"

IBC TABLE 506.2 ALLOWABLE AREA

BUSINESS GROUP B: 3840 SQFT (168 SQFT PER ANIMAL CARE BUILDING, 5 BUILDINGS TOTAL)
 1628 SQFT (1628 SQFT MAIN OFFICE BUILDING)
 5468 SQFT TOTAL MAX. ALLOWED:

MERCANTILE GROUP M: 198 SQFT (RETAIL STORE IN MAIN OFFICE BUILDING)
 198 SQFT TOTAL MAX. ALLOWED:

LOT COVERAGE: MAXIMUM: NONE
 PROPOSED: 4.8%

MEANS OF EGRESS:

TOTAL DOG HOUSE OCCUPANT LOAD = 13 PERSONS
 TOTAL OFFICE OCCUPANT LOAD = 21 PERSONS

REQUIRED EXIT WIDTH: 13 OCCUPANTS * 0.15 (OCCUP.) (IBC 1005.3.2) = 1.95' MIN. REQUIRED
 21 OCCUPANTS * 0.15 (OCCUP.) (IBC 1005.3.2) = 3.15' MIN. REQUIRED
 32' CLEAR WIDTH PER IBC 1010.1.1

PROVIDED EXIT WIDTH: DOG HOUSES: SOUTH ENTRANCE = 72", EAST ENTRANCE = 36"
 OFFICE: SOUTH ENTRANCE = 72", NORTH ENTRANCE = 72"

TABLE 1011.2 EXIT ACCESS TRAVEL DISTANCE (MAX. FEET)
 BUSINESS B OCCUPANCY: 300 (SPRINKLER SYSTEM)
 MERCANTILE M OCCUPANCY: 250 (SPRINKLER SYSTEM)

NONE EXCEEDED THIS PROJECT

STAIRS:

EXIT ACCESS STAIRS NOT REQUIRED TO BE ENCLOSED WITH A SHAFT ENCLOSURE IF ONE OF THE CONDITIONS LISTED IN 1014.3 APPLY:

- EXIT ACCESS STAIRWAYS THAT SERVE ONLY TWO STORIES.
- 1004.3 EXCEPTIONS 2 AND 5.
- CLEAR WIDTH OF 48" BETWEEN HANDRAILS AND AREAS OF REFUGE ARE NOT REQUIRED IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM.

GENERAL PROJECT NOTES

PROJECT SCOPE:
 NEW CONSTRUCTION OF (5 TOTAL) 7685F PET DAY CARE FACILITIES, ONE 1628 SF OFFICE, PARKING AND LANDSCAPING.
 PHASE 1: SITE DEVELOPMENT, OFFICE AND 5 DAY CARE FACILITIES

ASSOCIATED LAND USE APPROVAL NO.#

PROPOSED DEVELOPMENT:

PARKING LOT 4366 SQ.FT.
 BUILDINGS 5468 SQ.FT.
 ROAD 1611 SQ.FT.
 TOTAL 16,445 SQ.FT.

CONTRACTOR SHALL BE FAMILIAR WITH THE LAND USE CONDITIONS FOR APPROVAL OF THIS PROJECT WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING ITEMS:

- NOISE RELATED TO CONSTRUCTION IS ALLOWED FROM 7AM TO 6PM MONDAY THROUGH FRIDAY AND 9AM TO 6PM ON SATURDAY, EXCEPT FOR FEDERAL HOLIDAYS AND AS FURTHER DEFINED BY THE MILL CREEK CITY CODE. EXCEPTIONS TO THE CONSTRUCTION HOURS NOISE LIMITATION CONTAINED IN THE NOISE CONTROL CODE MAY BE GRANTED PURSUANT TO §§ WHEN NECESSARY TO ACCOMMODATE CONSTRUCTION WHICH CANNOT BE UNDERTAKEN DURING EXEMPT HOURS. WRITTEN REQUESTS FOR EXEMPTION FROM THE NOISE CONTROL CODE MUST BE SUBMITTED TWO WEEKS PRIOR TO THE ACTIVITY. SUCH REQUEST SHALL INCLUDE A NOISE ANALYSIS PREPARED BY A NOISE CONSULTANT, INCLUDING RECOMMENDATIONS FOR ACHIEVING THE NOISE LIMITATIONS OF THE NOISE ORDINANCE FOR NEW CONSTRUCTION B.C.C. 9.18.020 .040
- THE USE OF BEST AVAILABLE NOISE ABATEMENT TECHNOLOGY CONSISTENT WITH FEASIBILITY IS REQUIRED DURING CONSTRUCTION TO MITIGATE CONSTRUCTION IMPACTS TO SURROUNDING USES B.C.C. 9.18.020F
- CONSTRUCTION VEHICLES AND HEAVY CONSTRUCTION EQUIPMENT SHALL EMIT THE LEAST AMOUNT OF AIR POLLUTION POSSIBLE WHILE ON CITY STREETS. CONSTRUCTION VEHICLES SHALL MEET THE REQUIREMENTS OF THE REVISED CODE OF WASHINGTON 46.61.655 FOR COVERED LOADS.

FIXTURE COUNT

PLUMBING FIXTURE CALCULATIONS: SNOHOMISH COUNTY TABLE 2902.1 AMENDED BY WASHINGTON STATE

DOG HOUSE/OFFICE BUILDINGS:
 OCCUPANCY: B
CODE CALCULATION:
 OCCUPANCY B = 13 OCCUPANTS

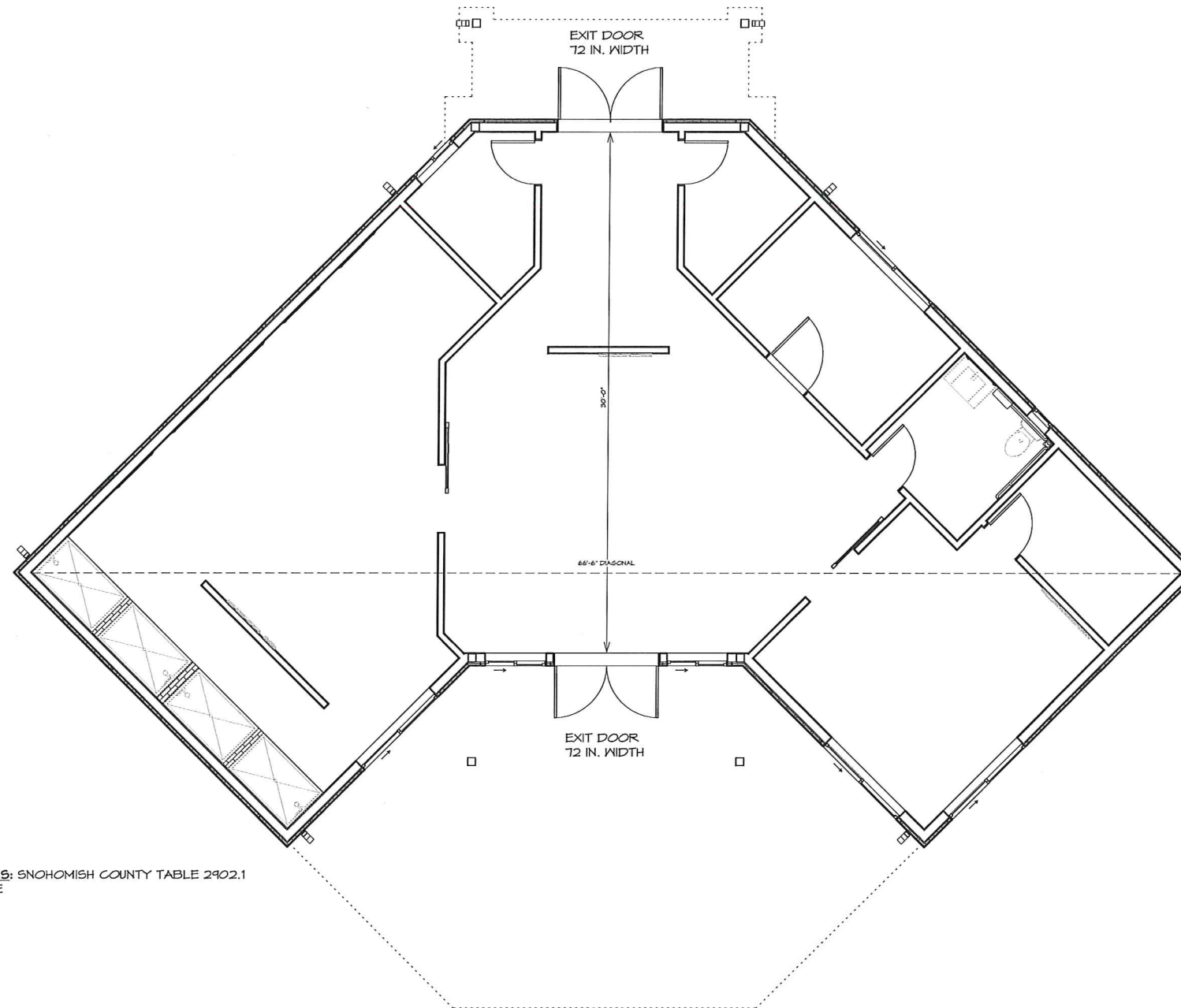
OFFICE BUILDING:
 OCCUPANCY: M & B
M - CODE CALCULATION:
 OCCUPANCY M = 4 OCCUPANTS
B - CODE CALCULATION:
 OCCUPANCY B = 17 OCCUPANTS

PER IBC, 2902.2 SEPARATE FACILITIES; EXCEPTIONS 2 & 3
 NO SEPARATE FACILITIES REQUIRED

WATER CLOSETS REQUIRED: 1/25 FOR THE FIRST 50 = 1
 LAV. FIXTURES REQUIRED: 1/40 FOR THE FIRST 80 = 1
 DRINKING FOUNTAINS REQUIRED: 1/100 = 1
 SERVICE SINK REQUIRED = 1

PER IBC, 2902.5 SMALL OCCUPANCIES
 DRINKING FOUNTAINS SHALL NOT BE REQUIRED FOR AN OCCUPANT LOAD OF 15 OR FEWER.

TOTAL WATER CLOSETS PROVIDED: 1 PER BUILDING
 TOTAL LAV. FIXTURES PROVIDED: 1 PER BUILDING
 TOTAL DRINKING FOUNTAINS PROVIDED: 1 AT OFFICE



1 OFFICE MAIN FLOOR EXITING
 1/4" = 1'-0"

STELLA & FLOYDS

MUTTLEY SQUARE

13209
 BOTHELL-EVERETT HWY
 MILL CREEK, WA



2813 ROCKEFELLER AVE
 EVERETT, WA 98201
 PHONE: 425.317.8017
 FAX: 425.517.8489



Scale As indicated
 Date 03/29/2019
 Drawn AG/SC/SM
 Checked SH

THIS PLAN AND DESIGN IS AND REMAINS THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE USED WITHOUT PRIOR CONSENT FROM THE ARCHITECT

PERMIT

Rev	Date	Description

OFFICE CODE SHEET

A-1.3a

STELLA & FLOYDS

MUTTLEY SQUARE

13209
BOTHELL-EVERETT HWY
MILL CREEK, WA



2813 ROCKEFELLER AVE
EVERETT, WA 98201
PHONE: 425.317.8017
FAX: 425.517.8489



Scale
Date 03/29/2019
Drawn AG/SC/SM
Checked SH

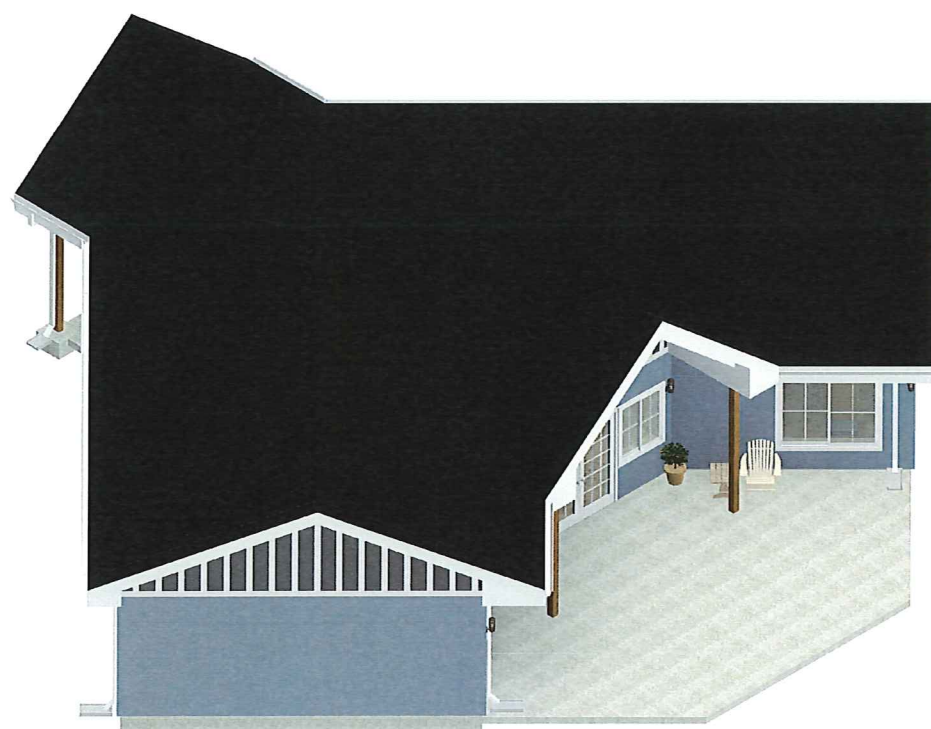
THIS PLAN AND DESIGN IS AND REMAINS THE
PROPERTY OF THE ARCHITECTS AND MAY NOT BE
USED WITHOUT PRIOR CONSENT FROM THE ARCHITECT

PERMIT

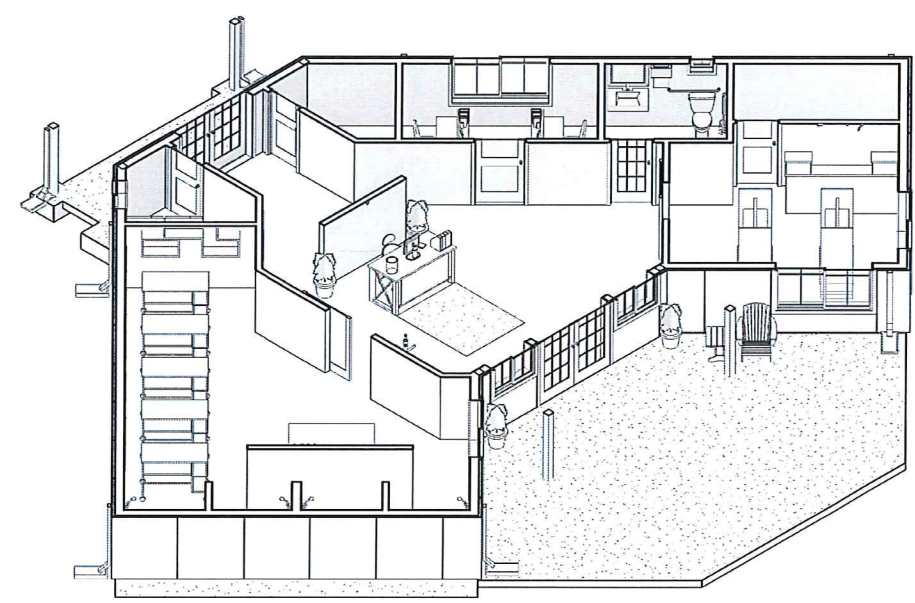
Rev	Date	Description

OFFICE ORTHOGRAPHIC

A-2.0a



OFFICE ORTHOGRAPHIC



OFFICE ORTHOGRAPHIC
FLOOR

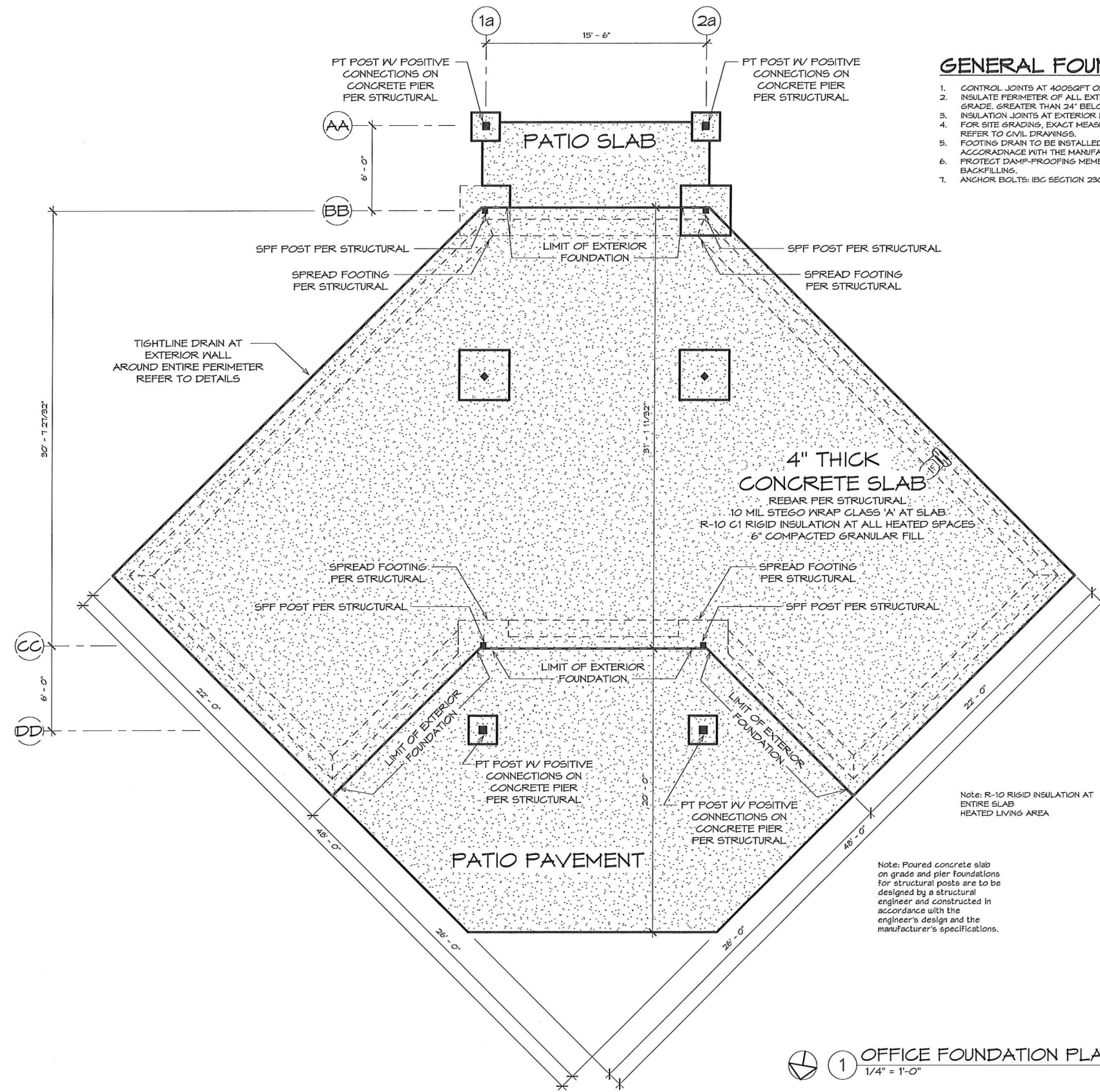
STELLA & FLOYDS

MUTTLEY SQUARE

13209
BOTHELL-EVERETT HWY
MILL CREEK, WA



2813 ROCKEFELLER AVE
EVERETT, WA 98201
PHONE: 425.317.8017
FAX: 425.517.8489



GENERAL FOUNDATION NOTES

1. CONTROL JOINTS AT 400SQFT OR LESS. REFER TO STRUCTURAL.
2. INSULATE PERIMETER OF ALL EXTERIOR WALLS BELOW GRADE TO 24" BELOW GRADE. GREATER THAN 24" BELOW GRADE NOT REQUIRED PER C-102.2.6.
3. INSULATION JOINTS AT EXTERIOR WALLS & AROUND SLAB.
4. FOR SITE GRADING, EXACT MEASUREMENTS & REINFORCING REQUIREMENTS, REFER TO CIVIL DRAWINGS.
5. FOOTING DRAIN TO BE INSTALLED AS PER CIVIL DRAWINGS AND IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
6. PROTECT DAMP-PROOFING MEMBRANE OR COATING FROM DAMAGE DURING BACKFILLING.
7. ANCHOR BOLTS: IBC SECTION 2308.0.1

1 OFFICE FOUNDATION PLAN
1/4" = 1'-0"



Scale As indicated
Date 03/29/2019
Drawn Author
Checked Checker

THIS PLAN AND DESIGN IS AND REMAINS THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE USED WITHOUT PRIOR CONSENT FROM THE ARCHITECT

PERMIT

Rev	Date	Description

OFFICE FOUNDATION PLAN

A-2.1a

STELLA & FLOYDS

MUTTLEY SQUARE

13209
BOTHELL-EVERETT HWY
MILL CREEK, WA



2813 ROCKEFELLER AVE
EVERETT, WA 98201
PHONE: 425.317.8017
FAX: 425.517.8489



Scale As indicated
Date 03/29/2019
Drawn AG/SC/SM
Checked SH

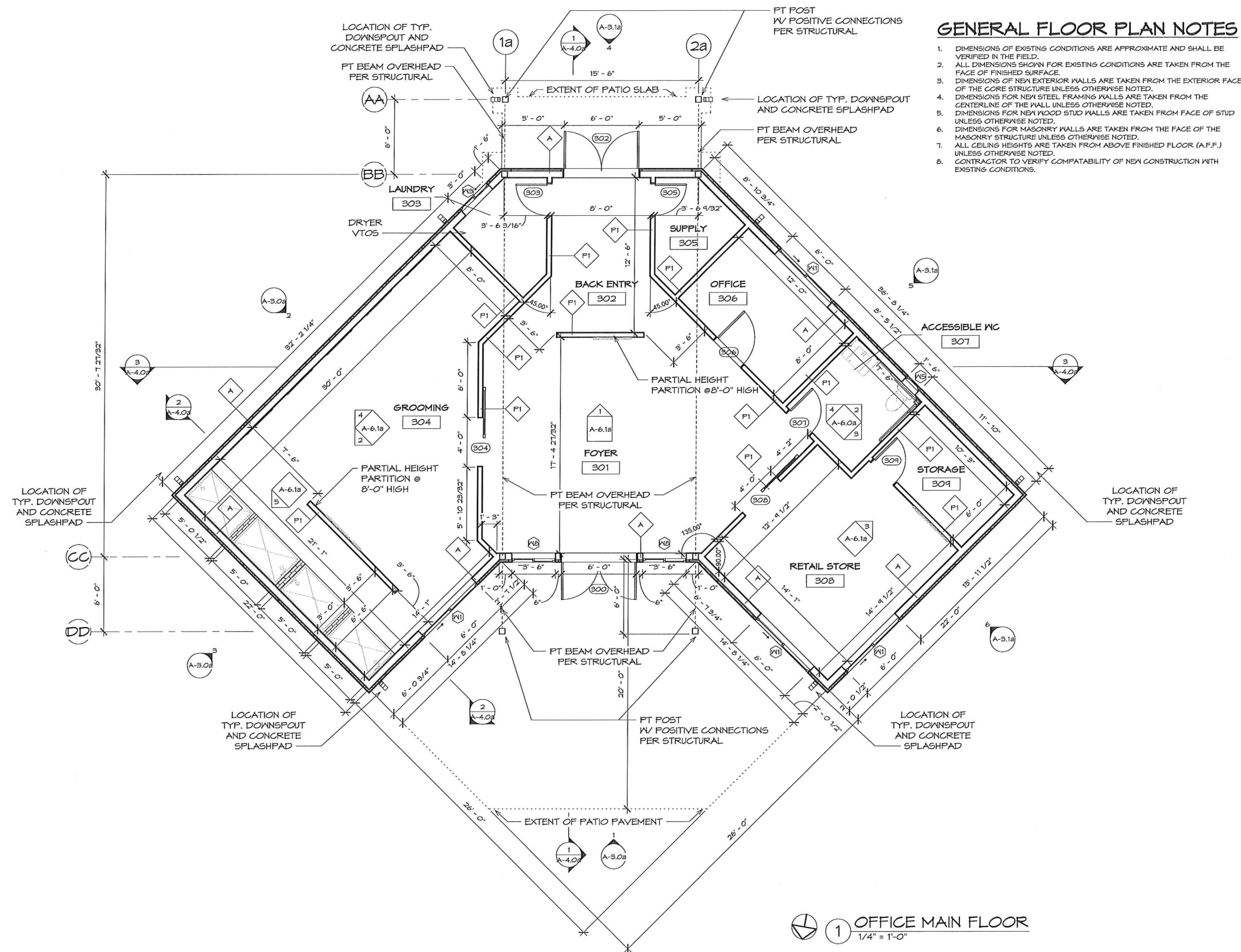
THIS PLAN AND DESIGN IS AND REMAINS THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE USED WITHOUT PRIOR CONSENT FROM THE ARCHITECT

PERMIT

Rev	Date	Description

OFFICE FLOOR PLAN

A-2.2a



STELLA & FLOYDS

MUTTLEY SQUARE

13209
BOTHELL-EVERETT HWY
MILL CREEK, WA



2813 ROCKEFELLER AVE
EVERETT, WA 98201
PHONE: 425.317.8017
FAX: 425.517.8489



Scale 1/4" = 1'-0"
Date 03/29/2019
Drawn AG/SC/SM
Checked SH

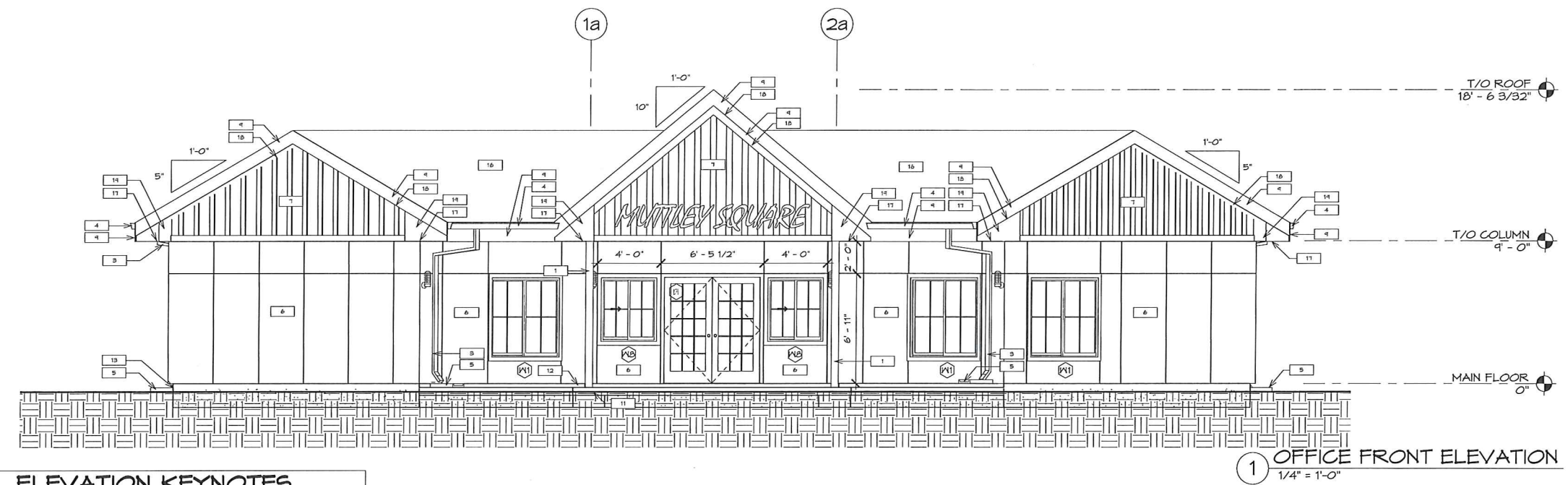
THIS PLAN AND DESIGN IS AND REMAINS THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE USED WITHOUT PRIOR CONSENT FROM THE ARCHITECT

PERMIT

Rev	Date	Description

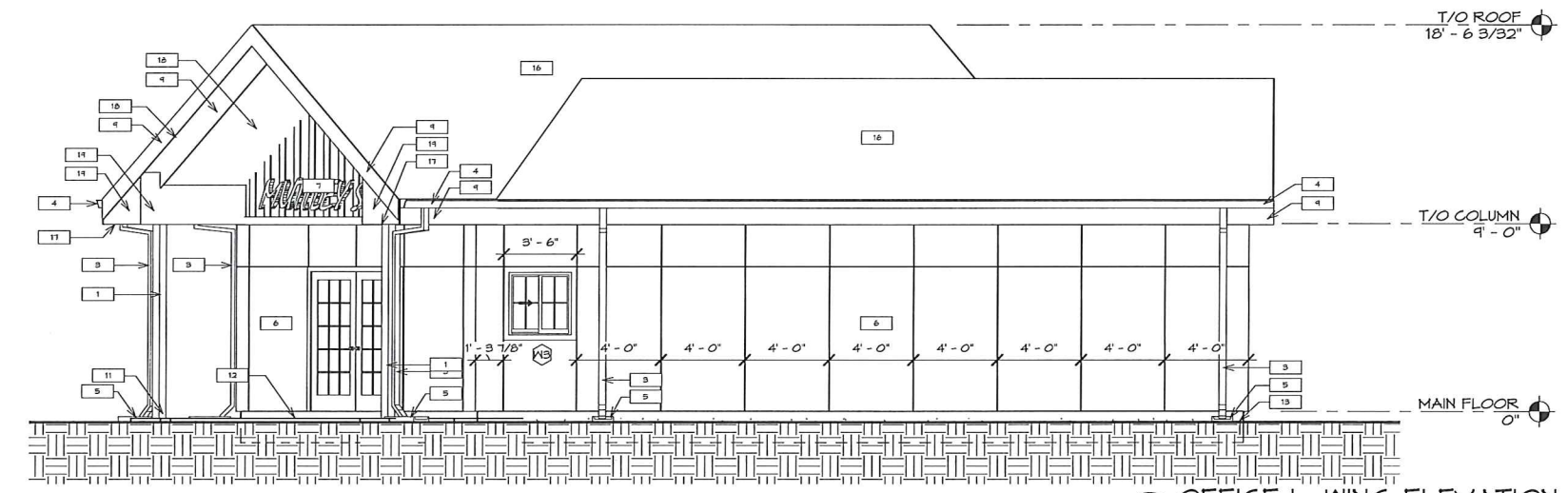
OFFICE ELEVATIONS

A-3.0a

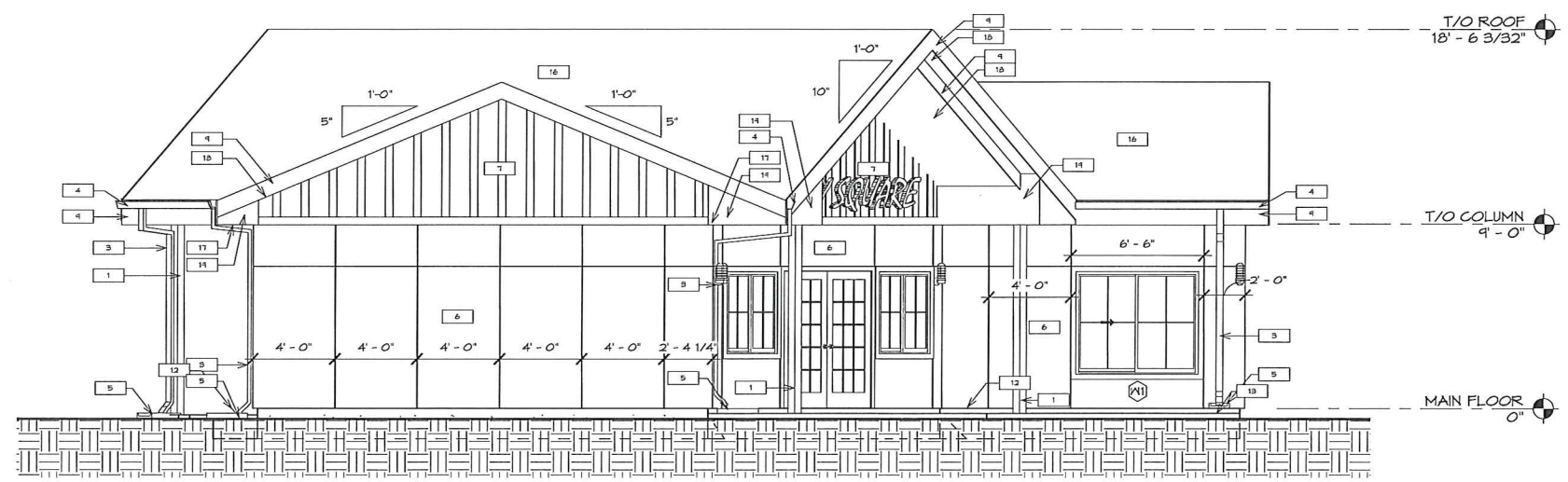


1 OFFICE FRONT ELEVATION
1/4" = 1'-0"

- ### ELEVATION KEYNOTES
- 1 PT POST WITH POSITIVE CONNECTIONS PER STRUCTURAL; COLOR: TEXAS HONEY BROWN/CEDAR
 - 2 PT BEAM PER STRUCTURAL; COLOR: TEXAS HONEY BROWN/CEDAR
 - 3 PAINTED METAL DOWNSPOUT; COLOR: ARCTIC WHITE
 - 4 PAINTED METAL GUTTER; COLOR: ARCTIC WHITE
 - 5 CONCRETE SPLASHPAD
 - 6 HARDIE PANEL, SMOOTH; COLOR: BOOTHBAY BLUE
 - 7 HARDIE PLANK, SELECT CEDARMILL; COLOR: GRAY SLATE
 - 8 HARDIE PLANK, SMOOTH BOARD & BATTEN; COLOR: GRAY SLATE
 - 9 PAINTED PT WOOD; COLOR: ARCTIC WHITE
 - 10 PAINTED 42' GUARD RAIL; COLOR: ARCTIC WHITE
 - 11 CONCRETE PIER & BELOW GRADE PAD PER STRUCTURAL
 - 12 CONCRETE PATIO SLAB PER STRUCTURAL
 - 13 CONCRETE SLAB WITH CLUB FOOTING PER STRUCTURAL
 - 14 REQUIRED 3' X 3' MIN. LANDING STEP ON GRADE
 - 15 CONTINUOUS RIDGE VENT; COLOR: IRON GRAY
 - 16 ASPHALT ROOFING SHINGLE; COLOR: IRON GRAY
 - 17 WOODTONE HORIZONTAL REALSOFFIT; COLOR: TEXAS HONEY BROWN/CEDAR
 - 18 WOODTONE SLOPED REALSOFFIT; COLOR: TEXAS HONEY BROWN/CEDAR
 - 19 SOFFIT END BLOCKING; COLOR: ARCTIC WHITE



2 OFFICE L. WING ELEVATION
1/4" = 1'-0"



3 OFFICE L. FACE ELEVATION
1/4" = 1'-0"

STELLA & FLOYDS

MUTTLEY SQUARE

13209
BOTHELL-EVERETT HWY
MILL CREEK, WA



2813 ROCKEFELLER AVE
EVERETT, WA 98201
PHONE: 425.317.8017
FAX: 425.517.8489



Scale 1/4" = 1'-0"
Date 03/29/2019
Drawn AG/SC/SM
Checked SH

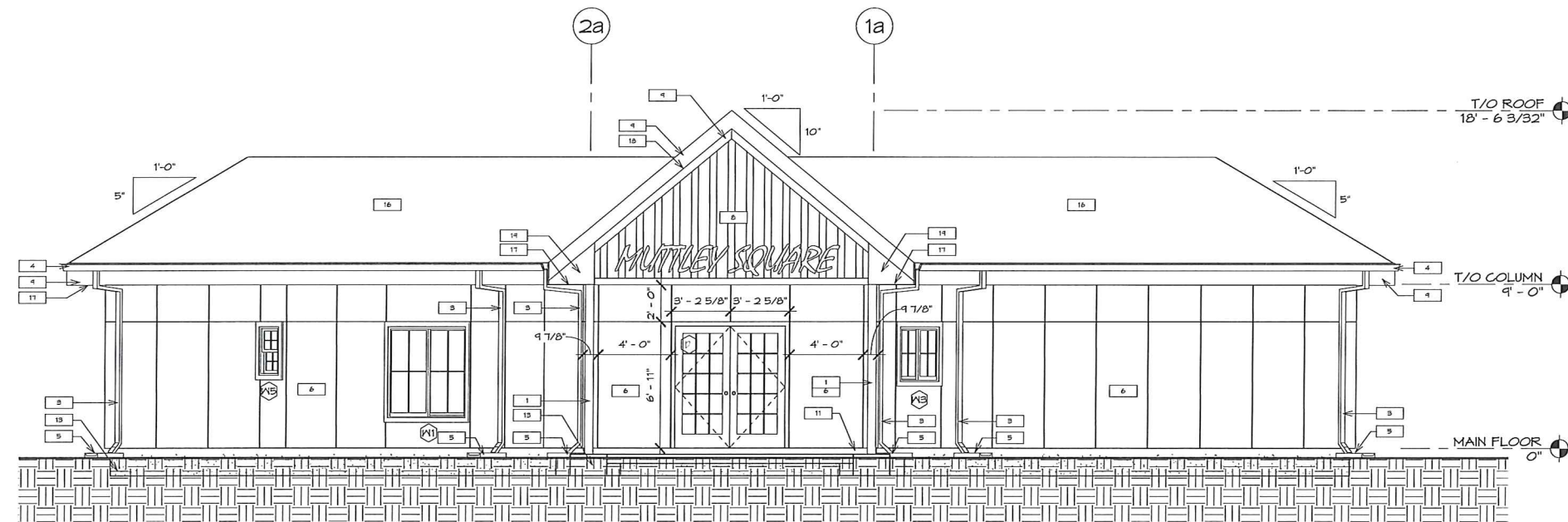
THIS PLAN AND DESIGN IS AND REMAINS THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE USED WITHOUT PRIOR CONSENT FROM THE ARCHITECT

PERMIT

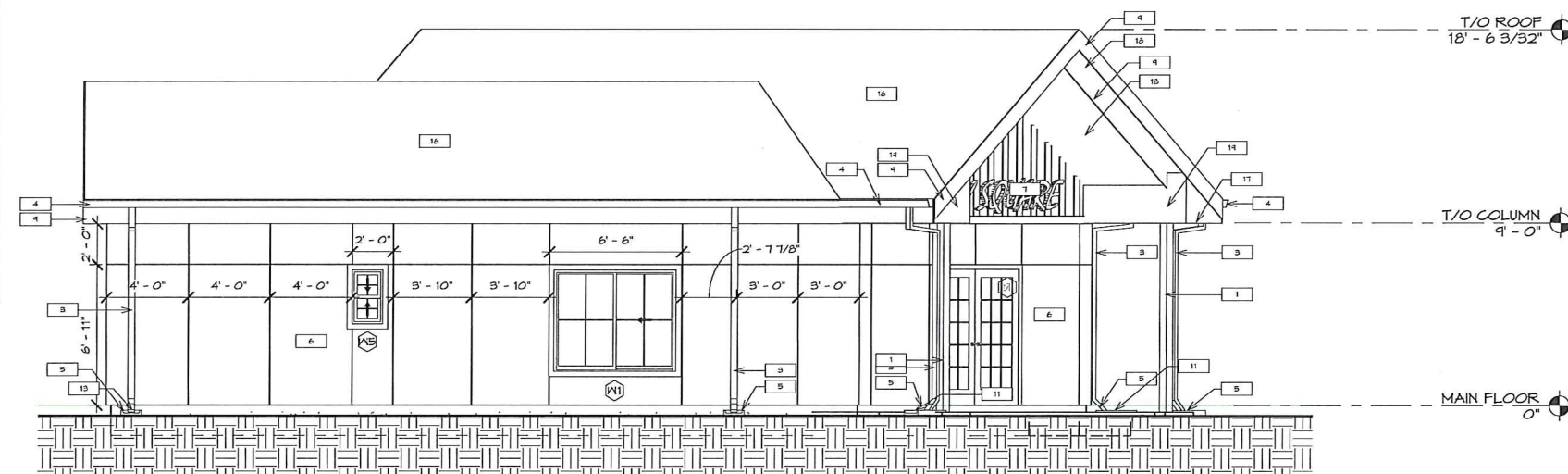
Rev	Date	Description

OFFICE ELEVATIONS

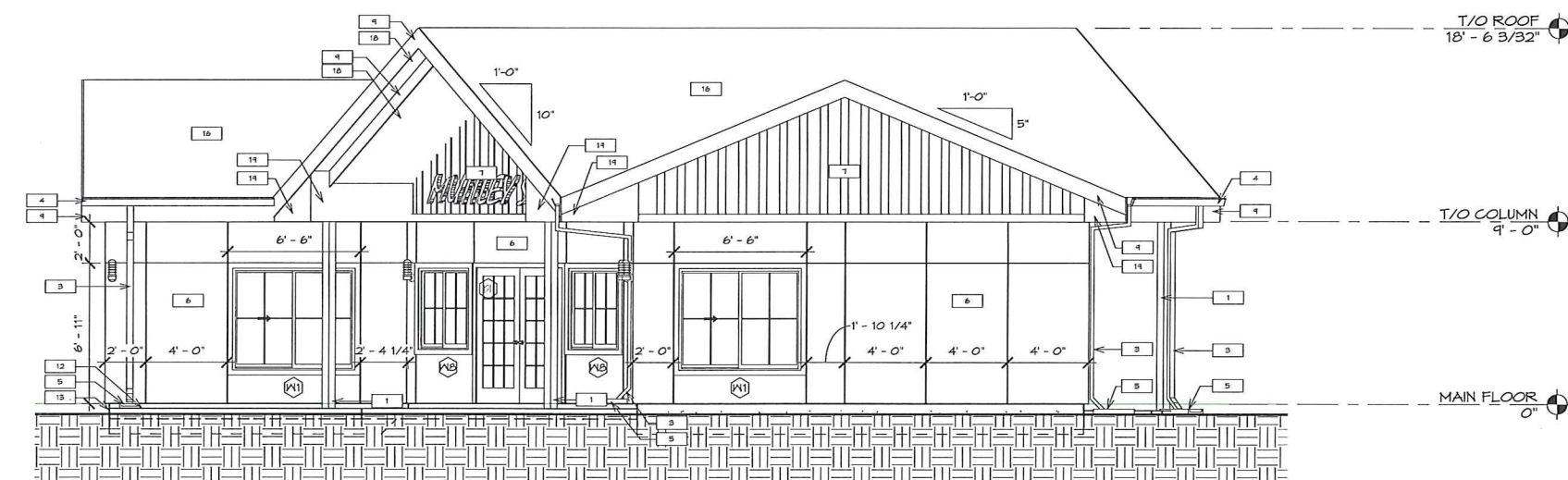
A-3.1a



4 OFFICE REAR ELEVATION
1/4" = 1'-0"



5 OFFICE R. WING ELEVATION
1/4" = 1'-0"



6 OFFICE R. FACE ELEVATION
1/4" = 1'-0"

ELEVATION KEYNOTES

- 1 FT POST WITH POSITIVE CONNECTIONS PER STRUCTURAL; COLOR: TEXAS HONEY BROWN/CEDAR
- 2 FT BEAM PER STRUCTURAL; COLOR: TEXAS HONEY BROWN/CEDAR
- 3 PAINTED METAL DOWNSPOUT; COLOR: ARCTIC WHITE
- 4 PAINTED METAL GUTTER; COLOR: ARCTIC WHITE
- 5 CONCRETE SPLASHPAD
- 6 HARDIE PANEL, SMOOTH; COLOR: BOOTHBAY BLUE
- 7 HARDIE FLANK, SELECT CEDARMILL; COLOR: GRAY SLATE
- 8 HARDIE FLANK, SMOOTH BOARD & BATTEN; COLOR: GRAY SLATE
- 9 PAINTED FT WOOD; COLOR: ARCTIC WHITE
- 10 PAINTED 42" GUARD RAIL; COLOR: ARCTIC WHITE
- 11 CONCRETE PIER & BELOW GRADE PAD PER STRUCTURAL
- 12 CONCRETE PATIO SLAB PER STRUCTURAL
- 13 CONCRETE SLAB WITH CLUB FOOTING PER STRUCTURAL
- 14 REQUIRED 3" X 3" MIN. LANDING STEP ON GRADE
- 15 CONTINUOUS RIDGE VENT; COLOR: IRON GRAY
- 16 ASPHALT ROOFING SHINGLE; COLOR: IRON GRAY
- 17 WOODTONE HORIZONTAL REALSOFFIT; COLOR: TEXAS HONEY BROWN/CEDAR
- 18 WOODTONE SLOPED REALSOFFIT; COLOR: TEXAS HONEY BROWN/CEDAR
- 19 SOFFIT END BLOCKING; COLOR: ARCTIC WHITE



STELLA & FLOYDS

MUTTLEY
SQUARE

13209
BOTHELL-EVERETT HWY
MILL CREEK, WA



2813 ROCKEFELLER AVE
EVERETT, WA 98201
PHONE: 425.317.8017
FAX: 425.517.8489



Scale
Date 03/29/2019
Drawn AG/SC/SM
Checked SH

THIS PLAN AND DESIGN IS AND REMAINS THE
PROPERTY OF THE ARCHITECTS AND MAY NOT BE
USED WITHOUT PRIOR CONSENT FROM THE ARCHITECT

PERMIT

Rev	Date	Description

HOUSE PERSPECTIVE

A-0.0b

BUILDING CODE SUMMARY

CITY OF BOTHELL-MILL CREEK CURRENT CODES APPLICABLE TO THIS PROJECT:
 2015 INTERNATIONAL BUILDING CODE
 2015 WASHINGTON STATE ENERGY CODE
 2009 ICC A111.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
 2015 INTERNATIONAL FIRE CODE
 2011 NATIONAL ELECTRIC CODE
 2015 UNIFORM PLUMBING CODE
 2015 INTERNATIONAL MECHANICAL CODE

ZONING DESIGNATION - CB (COMMUNITY BUSINESS)

OCCUPANCY CLASSIFICATIONS:

BUSINESS GROUP B
 1ST FLOOR DOG HOUSE: 768 SF
 OCCUPANT LOAD: 168/100 GROSS = 8 PERSONS
 2ND FLOOR DOG HOUSE: 456 SF
 OCCUPANT LOAD: 456/100 GROSS = 5 PERSONS
 OFFICE: 456 SF
 OCCUPANT LOAD: 1628/ GROSS = 11 PERSONS

MERCANTILE GROUP M
 RETAIL = 148 SF
 OCCUPANT LOAD: 148/60 = 4 PERSONS

CONSTRUCTION TYPE: V-B
 BUILDINGS ARE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SFRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1

IBC TABLE 504.3 ALLOWABLE BUILDING HEIGHT
 IN FEET ABOVE GRADE PLANE = 40 FT.

PROPOSED HEIGHT: DOG HOUSES: 24'-4"
 OFFICE: 18'-6"

IBC TABLE 506.2 ALLOWABLE AREA

BUSINESS GROUP B: 3840 SQFT (768 SQFT PER ANIMAL CARE BUILDING, 5 BUILDINGS TOTAL)
 1628 SQFT (1628 SQFT MAIN OFFICE BUILDING)
 5468 SQFT TOTAL MAX. ALLOWED:

MERCANTILE GROUP M: 148 SQFT (RETAIL STORE IN MAIN OFFICE BUILDING)
 148 SQFT TOTAL MAX. ALLOWED:

LOT COVERAGE: MAXIMUM: NONE
 PROPOSED: 4.8%

MEANS OF EGRESS:
 TOTAL DOG HOUSE OCCUPANT LOAD = 13 PERSONS
 TOTAL OFFICE OCCUPANT LOAD = 21 PERSONS

REQUIRED EXIT WIDTH: 13 OCCUPANTS * 0.15 (OCCUP.) (IBC 1005.3.2) = 1.95" MIN. REQUIRED
 21 OCCUPANTS * 0.15 (OCCUP.) (IBC 1005.3.2) = 3.15" MIN. REQUIRED
 32" CLEAR WIDTH PER IBC 1010.1.1

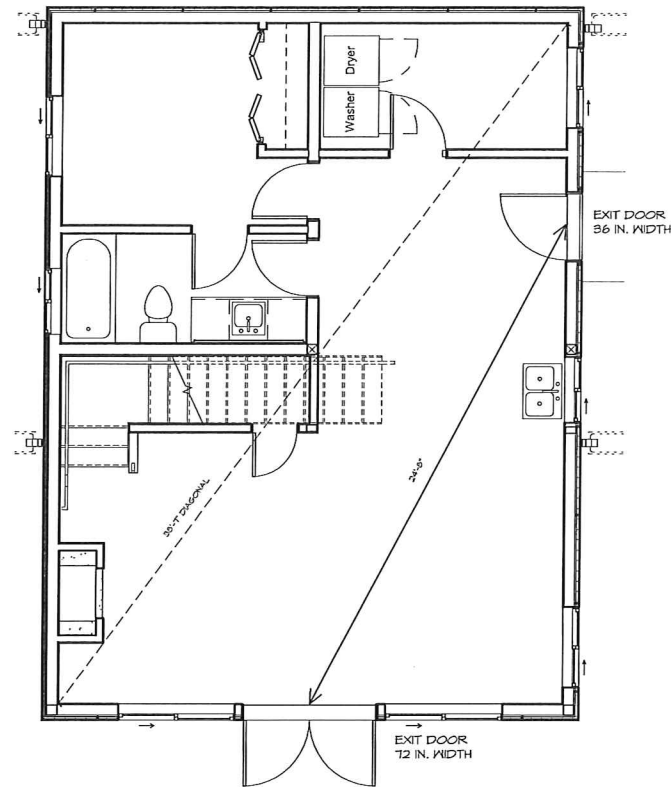
PROVIDED EXIT WIDTH: DOG HOUSES: SOUTH ENTRANCE = 12", EAST ENTRANCE = 36"
 OFFICE: SOUTH ENTRANCE = 12", NORTH ENTRANCE = 12"

TABLE 1011.2 EXIT ACCESS TRAVEL DISTANCE (MAX. FEET)
 BUSINESS B OCCUPANCY: 300 (SFRINKLER SYSTEM)
 MERCANTILE M OCCUPANCY: 250 (SFRINKLER SYSTEM)

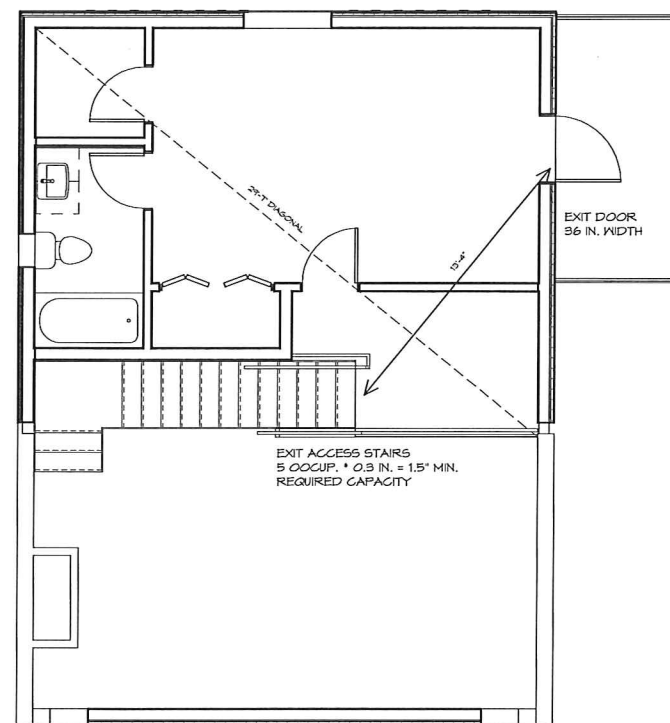
NONE EXCEEDED THIS PROJECT

STAIRS:

EXIT ACCESS STAIRS NOT REQUIRED TO BE ENCLOSED WITH A SHAFT ENCLOSURE IF ONE OF THE CONDITIONS LISTED IN 1014.3 APPLY:
 1. EXIT ACCESS STAIRWAYS THAT SERVE ONLY TWO STORIES.
 STAIRWAYS CONSIDERED PART OF AN ACCESSIBLE MEANS OF EGRESS:
 1004.3 EXCEPTIONS 2 AND 5.
 CLEAR WIDTH OF 48" BETWEEN HANDRAILS AND AREAS OF REFUGE ARE NOT REQUIRED IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SFRINKLER SYSTEM.



1 MAIN FLOOR EXITING
 1/4" = 1'-0"



2 SECOND FLOOR EXITING
 1/4" = 1'-0"

GENERAL PROJECT NOTES

PROJECT SCOPE:
 NEW CONSTRUCTION OF (5 TOTAL) 768SF PET DAY CARE FACILITIES, ONE 1628 SF OFFICE, PARKING AND LANDSCAPING.
 PHASE 1: SITE DEVELOPMENT, OFFICE AND 5 DAY CARE FACILITIES

ASSOCIATED LAND USE APPROVAL NO.#

PROPOSED DEVELOPMENT:
 PARKING LOT 4868 SQ.FT.
 BUILDINGS 5468 SQ.FT.
 ROAD 1611 SQ.FT.
 TOTAL 16,445 SQ.FT.

CONTRACTOR SHALL BE FAMILIAR WITH THE LAND USE CONDITIONS FOR APPROVAL OF THIS PROJECT WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING ITEMS:

- NOISE RELATED TO CONSTRUCTION IS ALLOWED FROM 7AM TO 6PM MONDAY THROUGH FRIDAY AND 9AM TO 6PM ON SATURDAY, EXCEPT FOR FEDERAL HOLIDAYS AND AS FURTHER DEFINED BY THE MILL CREEK CITY CODE. EXCEPTIONS TO THE CONSTRUCTION HOURS NOISE LIMITATION CONTAINED IN THE NOISE CONTROL CODE MAY BE GRANTED PURSUANT TO ### WHEN NECESSARY TO ACCOMMODATE CONSTRUCTION WHICH CANNOT BE UNDERTAKEN DURING EXEMPT HOURS. WRITTEN REQUESTS FOR EXEMPTION FROM THE NOISE CONTROL CODE MUST BE SUBMITTED TWO WEEKS PRIOR TO THE ACTIVITY. SUCH REQUEST SHALL INCLUDE A NOISE ANALYSIS PREPARED BY A NOISE CONSULTANT, INCLUDING RECOMMENDATIONS FOR ACHIEVING THE NOISE LIMITATIONS OF THE NOISE ORDINANCE FOR NEW CONSTRUCTION B.C.C. 418.020. 040
- THE USE OF BEST AVAILABLE NOISE ABATEMENT TECHNOLOGY CONSISTENT WITH FEASIBILITY IS REQUIRED DURING CONSTRUCTION TO MITIGATE CONSTRUCTION IMPACTS TO SURROUNDING USES B.C.C. 418.020F
- CONSTRUCTION VEHICLES AND HEAVY CONSTRUCTION EQUIPMENT SHALL EMIT THE LEAST AMOUNT OF AIR POLLUTION POSSIBLE WHILE ON CITY STREETS. CONSTRUCTION VEHICLES SHALL MEET THE REQUIREMENTS OF THE REVISED CODE OF WASHINGTON 46.61.655 FOR COVERED LOADS.

FIXTURE COUNT

PLUMBING FIXTURE CALCULATIONS: SNOHOMISH COUNTY TABLE 2402.1 AMENDED BY WASHINGTON STATE

DOG HOUSE/OFFICE BUILDINGS
 OCCUPANCY: B
 CODE CALCULATION:
 OCCUPANCY B = 13 OCCUPANTS

OFFICE BUILDING
 OCCUPANCY: M & B
 M - CODE CALCULATION:
 OCCUPANCY M = 4 OCCUPANTS
 B - CODE CALCULATION:
 OCCUPANCY B = 17 OCCUPANTS

PER IBC, 2402.2 SEPARATE FACILITIES; EXCEPTIONS 2 & 3
 NO SEPARATE FACILITIES REQUIRED

WATER CLOSETS REQUIRED: 1/25 FOR THE FIRST 50 = 1
 LAV. FIXTURES REQUIRED: 1/40 FOR THE FIRST 80 = 1
 DRINKING FOUNTAINS REQUIRED: 1/100 = 1
 SERVICE SINK REQUIRED = 1

PER IBC, 2402.5 SMALL OCCUPANCIES
 DRINKING FOUNTAINS SHALL NOT BE REQUIRED FOR AN OCCUPANT LOAD OF 15 OR FEWER.

TOTAL WATER CLOSETS PROVIDED: 1 PER BUILDING
 TOTAL LAV. FIXTURES PROVIDED: 1 PER BUILDING
 TOTAL DRINKING FOUNTAINS PROVIDED: 1 AT OFFICE

STELLA & FLOYDS MUTTLEY SQUARE

13209
 BOTHELL-EVERETT HWY
 MILL CREEK, WA



2813 ROCKEFELLER AVE
 EVERETT, WA 98201
 PHONE: 425.317.8017
 FAX: 425.517.8489



Scale As indicated
 Date 03/29/2019
 Drawn AG/SC/SM
 Checked SH

THIS PLAN AND DESIGN IS AND REMAINS THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE USED WITHOUT PRIOR CONSENT FROM THE ARCHITECT

PERMIT

Rev	Date	Description

HOUSE CODE SHEET

A-1.3b

STELLA & FLOYDS

MUTTLEY SQUARE

13209
BOTHELL-EVERETT HWY
MILL CREEK, WA

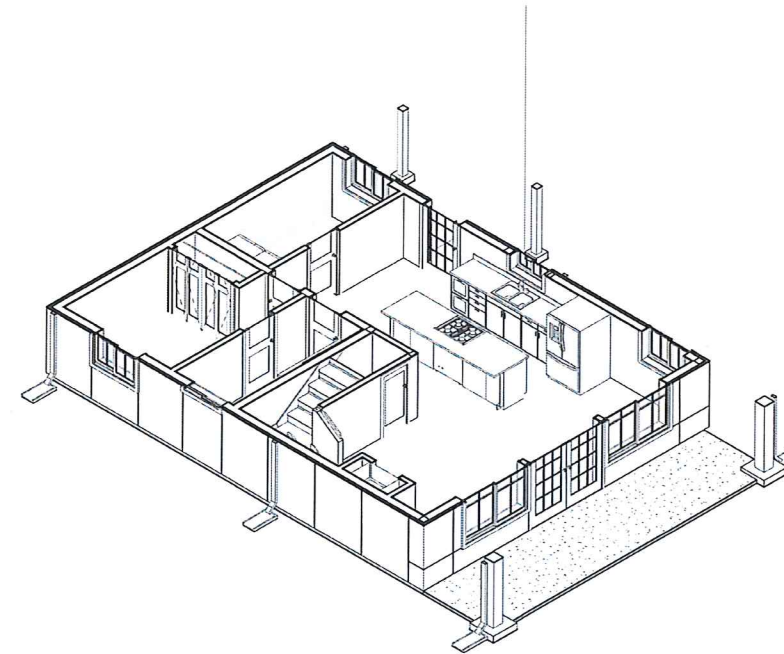
Capital Group PC



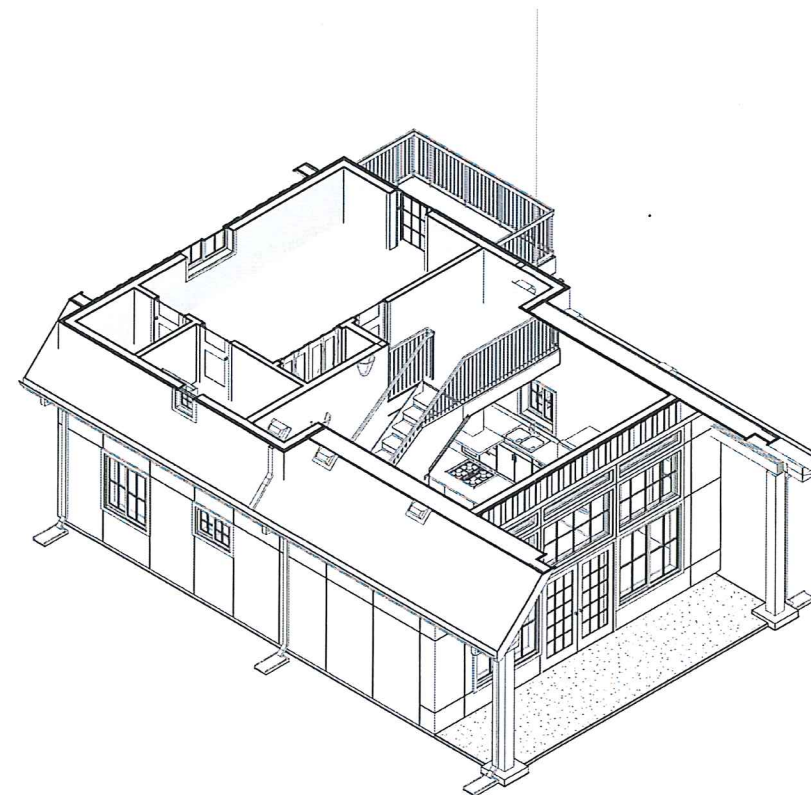
2813 ROCKEFELLER AVE
EVERETT, WA 98201
PHONE: 425.317.8017
FAX: 425.517.8489



HOUSE ORTHOGRAPHIC



HOUSE ORTHOGRAPHIC
MAIN FLOOR



HOUSE ORTHOGRAPHIC
SECOND FLOOR



Scale
Date 03/29/2019
Drawn AG
Checked SH

THIS PLAN AND DESIGN IS AND REMAINS THE
PROPERTY OF THE ARCHITECTS AND MAY NOT BE
USED WITHOUT PRIOR CONSENT FROM THE ARCHITECT

PERMIT

Rev	Date	Description

HOUSE ORTHOGRAPHIC

A-2.0b

STELLA & FLOYDS

MUTTLEY SQUARE

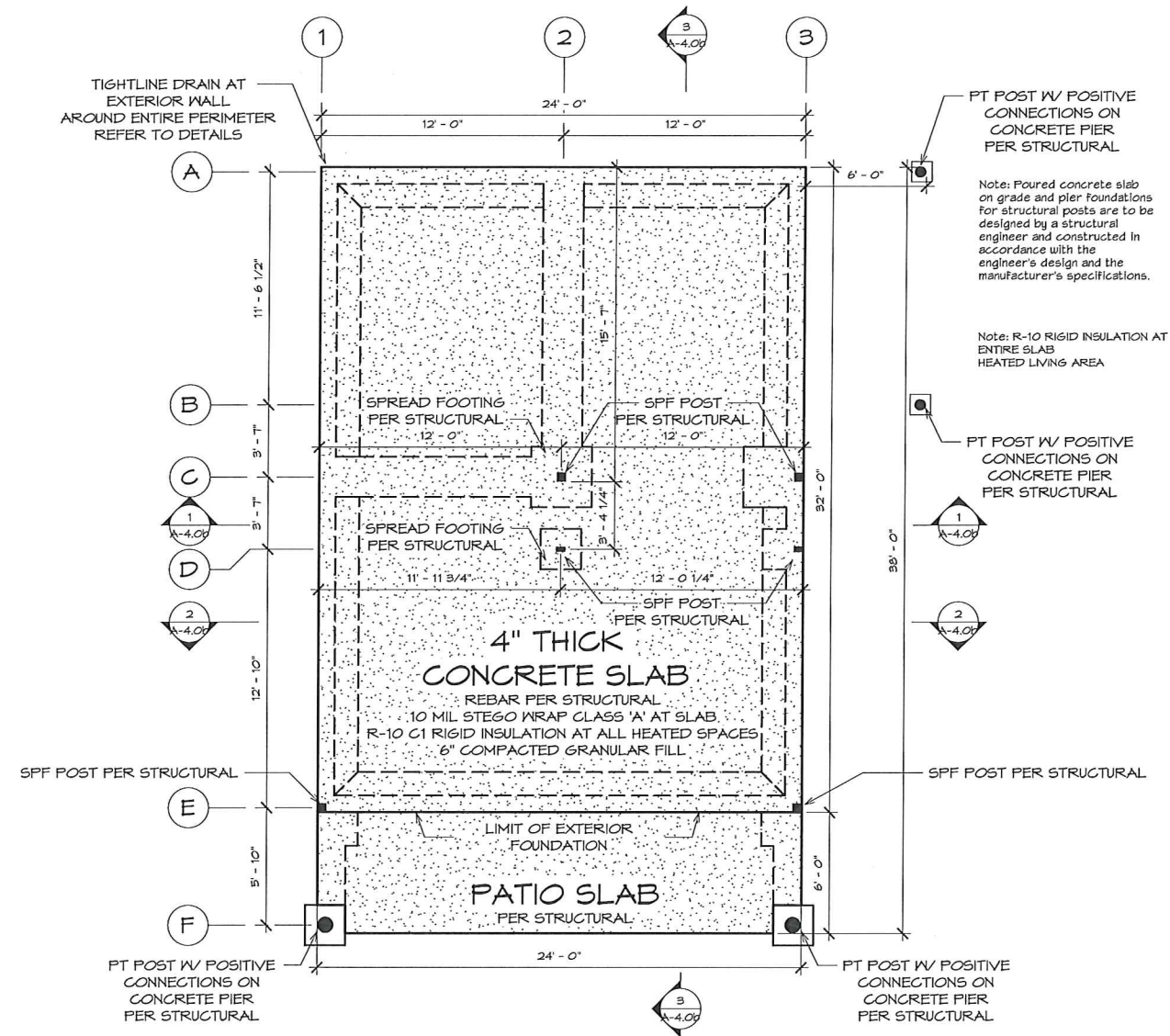
13209
BOTHELL-EVERETT HWY
MILL CREEK, WA



2813 ROCKEFELLER AVE
EVERETT, WA 98201
PHONE: 425.317.8017
FAX: 425.517.8489

GENERAL FOUNDATION NOTES

- CONTROL JOINTS AT 400SQFT OR LESS. REFER TO STRUCTURAL.
- INSULATE PERIMETER OF ALL EXTERIOR WALLS BELOW GRADE TO 24" BELOW GRADE. GREATER THAN 24" BELOW GRADE NOT REQUIRED PER C402.2.6.
- INSULATION JOINTS AT EXTERIOR WALLS & AROUND SLAB.
- FOR SITE GRADING, EXACT MEASUREMENTS & REINFORCING REQUIREMENTS, REFER TO CIVIL DRAWINGS.
- FOOTING DRAIN TO BE INSTALLED AS PER CIVIL DRAWINGS AND IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- PROTECT DAMP-PROOFING MEMBRANE OR COATING FROM DAMAGE DURING BACKFILLING.
- ANCHOR BOLTS: IBC SECTION 2308.0.1



1 HOUSE FOUNDATION PLAN
1/4" = 1'-0"

NOTE: SEE SITE PLAN FOR ORIENTATION BASED ON DOG HOUSE # AS LOCATIONS/ORIENTATIONS VARY.



Scale As indicated
Date 03/29/2019
Drawn AG/SC/SM
Checked SH

THIS PLAN AND DESIGN IS AND REMAINS THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE USED WITHOUT PRIOR CONSENT FROM THE ARCHITECT

PERMIT

Rev	Date	Description

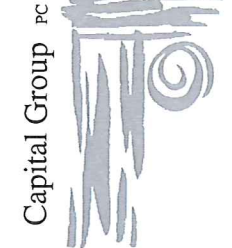
HOUSE FOUNDATION PLAN

A-2.1b

STELLA & FLOYDS

MUTTLEY SQUARE

13209
BOTHELL-EVERETT HWY
MILL CREEK, WA



2813 ROCKEFELLER AVE
EVERETT, WA 98201
PHONE: 425.317.8017
FAX: 425.517.8489



Scale As indicated
Date 03/29/2019
Drawn AG/SC/SM
Checked SH

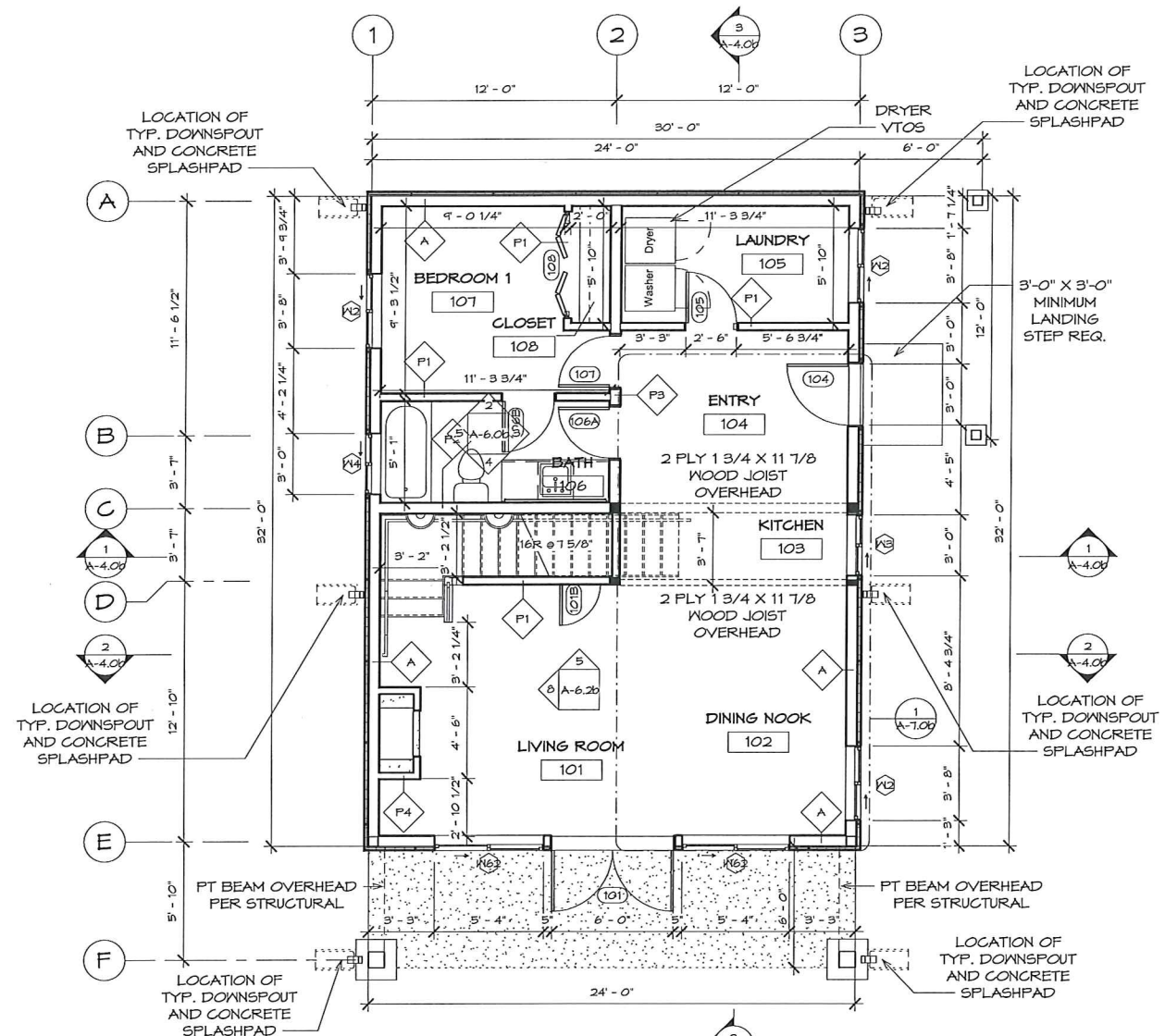
THIS PLAN AND DESIGN IS AND REMAINS THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE USED WITHOUT PRIOR CONSENT FROM THE ARCHITECT

PERMIT

Rev	Date	Description

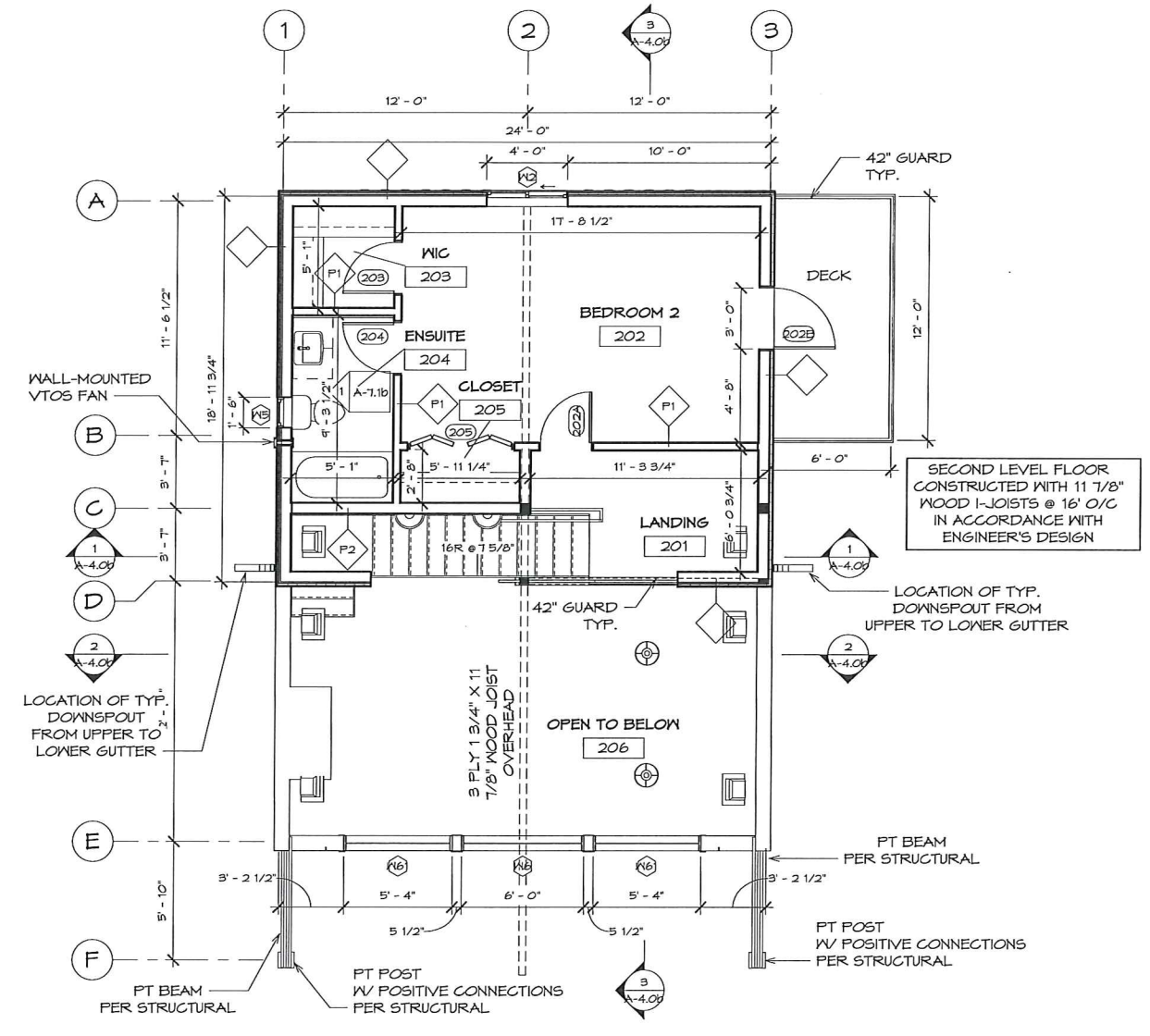
HOUSE FLOOR PLANS

A-2.2b



1 HOUSE MAIN FLOOR
1/4" = 1'-0"

NOTE: SEE SITE PLAN FOR ORIENTATION BASED ON DOG HOUSE # AS LOCATIONS/ORIENTATIONS VARY.



2 HOUSE SECOND FLOOR
1/4" = 1'-0"

NOTE: SEE SITE PLAN FOR ORIENTATION BASED ON DOG HOUSE # AS LOCATIONS/ORIENTATIONS VARY.

GENERAL FLOOR PLAN NOTES

- DIMENSIONS OF EXISTING CONDITIONS ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD.
- ALL DIMENSIONS SHOWN FOR EXISTING CONDITIONS ARE TAKEN FROM THE FACE OF FINISHED SURFACE.
- DIMENSIONS OF NEW EXTERIOR WALLS ARE TAKEN FROM THE EXTERIOR FACE OF THE CORE STRUCTURE UNLESS OTHERWISE NOTED.
- DIMENSIONS FOR NEW STEEL FRAMING WALLS ARE TAKEN FROM THE CENTERLINE OF THE WALL UNLESS OTHERWISE NOTED.
- DIMENSIONS FOR NEW WOOD STUD WALLS ARE TAKEN FROM FACE OF STUD UNLESS OTHERWISE NOTED.
- DIMENSIONS FOR MASONRY WALLS ARE TAKEN FROM THE FACE OF THE MASONRY STRUCTURE UNLESS OTHERWISE NOTED.
- ALL CEILING HEIGHTS ARE TAKEN FROM ABOVE FINISHED FLOOR (A.F.F.) UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY COMPATIBILITY OF NEW CONSTRUCTION WITH EXISTING CONDITIONS.

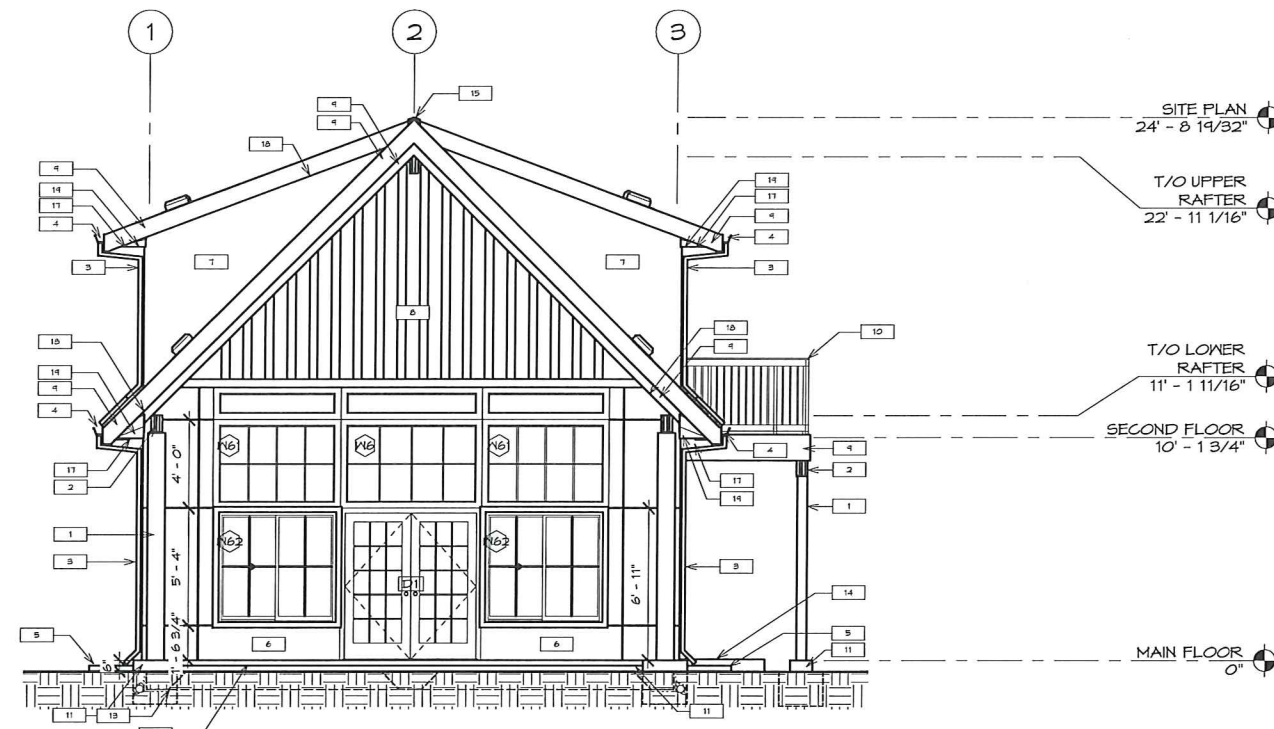
STELLA & FLOYDS

MUTTLEY SQUARE

13209
BOTHELL-EVERETT HWY
MILL CREEK, WA

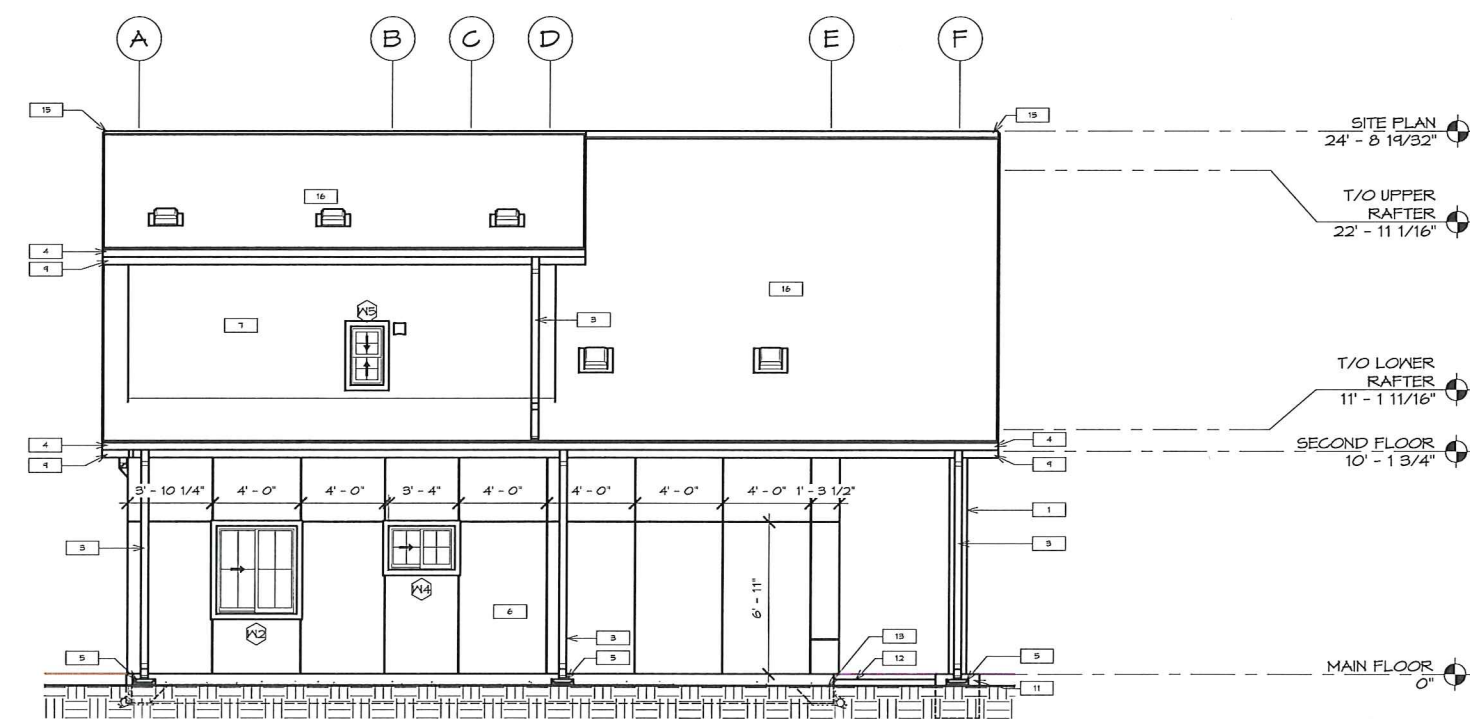


2813 ROCKEFELLER AVE
EVERETT, WA 98201
PHONE: 425.317.8017
FAX: 425.517.8489



1 HOUSE FRONT ELEVATION
1/4" = 1'-0"

- ELEVATION KEYNOTES**
- 1 PT POST WITH POSITIVE CONNECTIONS PER STRUCTURAL; COLOR: TEXAS HONEY BROWN/CEDAR
 - 2 PT BEAM PER STRUCTURAL; COLOR: TEXAS HONEY BROWN/CEDAR
 - 3 PAINTED METAL DOWNSPOUT; COLOR: ARCTIC WHITE
 - 4 PAINTED METAL GUTTER; COLOR: ARCTIC WHITE
 - 5 CONCRETE SPLASHPAD
 - 6 HARDIE PANEL, SMOOTH; COLOR: BOOTHBAY BLUE
 - 7 HARDIE PLANK, SELECT CEDARMILL; COLOR: GRAY SLATE
 - 8 HARDIE PLANK, SMOOTH BOARD & BATTEN; COLOR: GRAY SLATE
 - 9 PAINTED FT WOOD; COLOR: ARCTIC WHITE
 - 10 PAINTED 42" GUARD RAIL; COLOR: ARCTIC WHITE
 - 11 CONCRETE PIER & BELOW GRADE PAD PER STRUCTURAL
 - 12 CONCRETE PATIO SLAB PER STRUCTURAL
 - 13 CONCRETE SLAB WITH CURB FOOTING PER STRUCTURAL
 - 14 REQUIRED 3' X 3' MIN. LANDING STEP ON GRADE
 - 15 CONTINUOUS RIDGE VENT; COLOR: IRON GRAY
 - 16 ASPHALT ROOFING SHINGLE; COLOR: IRON GRAY
 - 17 WOODTONE HORIZONTAL REALSOFFIT; COLOR: TEXAS HONEY BROWN/CEDAR
 - 18 WOODTONE SLOPED REALSOFFIT; COLOR: TEXAS HONEY BROWN/CEDAR
 - 19 SOFFIT END BLOCKING; COLOR: ARCTIC WHITE



2 HOUSE LEFT ELEVATION
1/4" = 1'-0"



Scale 1/4" = 1'-0"
Date 03/29/2019
Drawn AG/SC/SM
Checked SH

THIS PLAN AND DESIGN IS AND REMAINS THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE USED WITHOUT PRIOR CONSENT FROM THE ARCHITECT

PERMIT

Rev	Date	Description

HOUSE ELEVATIONS

A-3.0b

STELLA & FLOYDS

MUTTLEY SQUARE

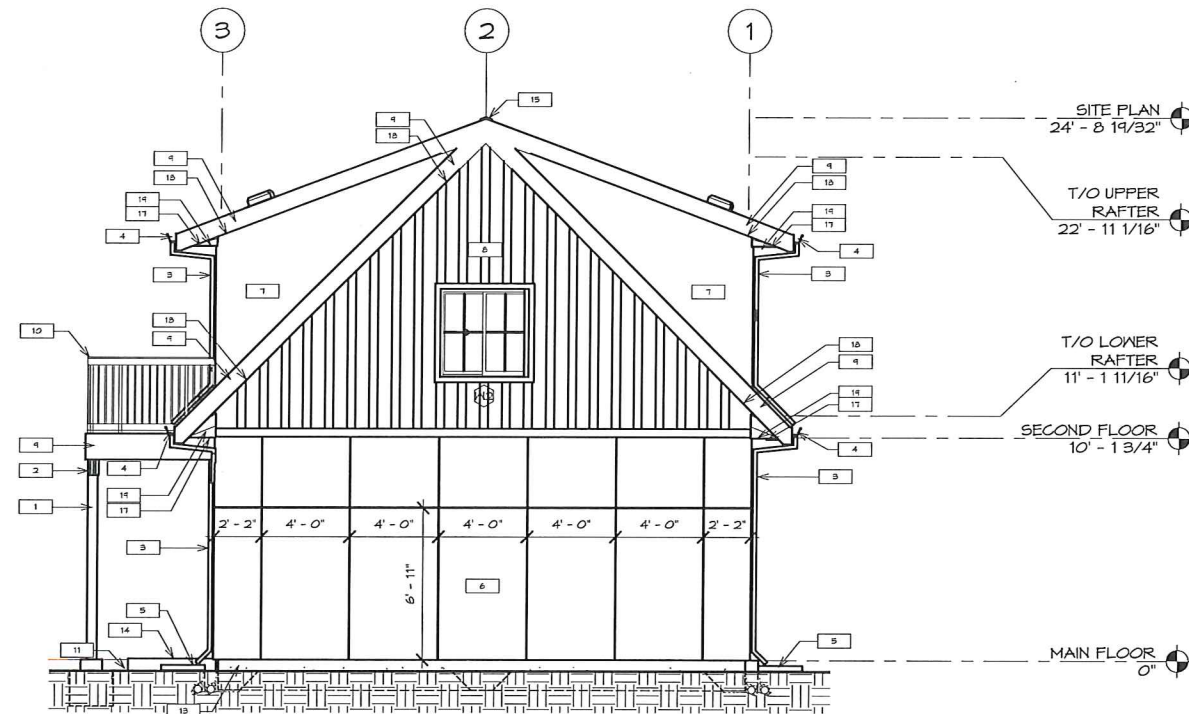
13209
BOTHELL-EVERETT HWY
MILL CREEK, WA



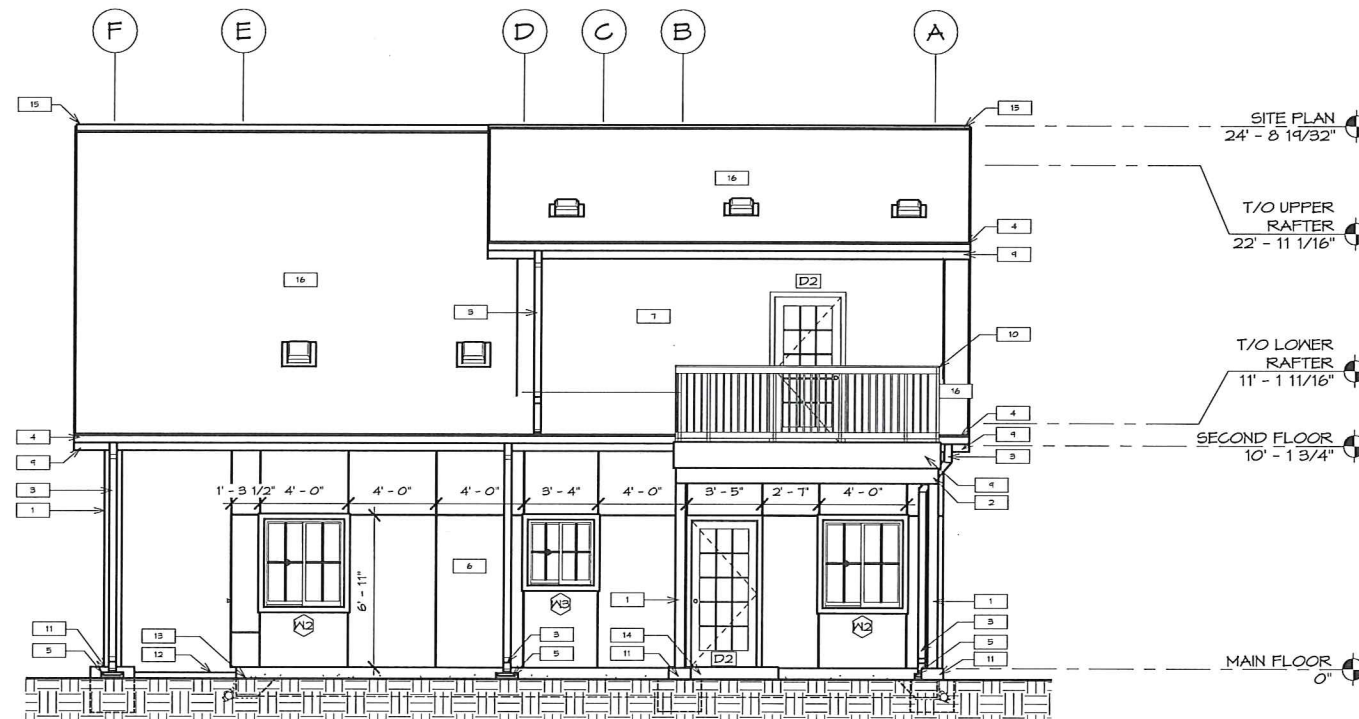
2813 ROCKEFELLER AVE
EVERETT, WA 98201
PHONE: 425.317.8017
FAX: 425.517.8489

ELEVATION KEYNOTES

- 1 PT POST WITH POSITIVE CONNECTIONS PER STRUCTURAL; COLOR: TEXAS HONEY BROWN/CEDAR
- 2 PT BEAM PER STRUCTURAL; COLOR: TEXAS HONEY BROWN/CEDAR
- 3 PAINTED METAL DOWNSPOUT; COLOR: ARCTIC WHITE
- 4 PAINTED METAL GUTTER; COLOR: ARCTIC WHITE
- 5 CONCRETE SPLASHPAD
- 6 HARDIE PANEL, SMOOTH; COLOR: BOOTHBAY BLUE
- 7 HARDIE PLANK, SELECT CEDARMILL; COLOR: GRAY SLATE
- 8 HARDIE PLANK, SMOOTH BOARD & BATTEN; COLOR: GRAY SLATE
- 9 PAINTED FT WOOD; COLOR: ARCTIC WHITE
- 10 PAINTED 42" GUARD RAIL; COLOR: ARCTIC WHITE
- 11 CONCRETE PIER 4 BELOW GRADE PAD PER STRUCTURAL
- 12 CONCRETE PATIO SLAB PER STRUCTURAL
- 13 CONCRETE SLAB WITH CURB FOOTING PER STRUCTURAL
- 14 REQUIRED 3' X 3' MIN. LANDING STEP ON GRADE
- 15 CONTINUOUS RIDGE VENT; COLOR: IRON GRAY
- 16 ASPHALT ROOFING SHINGLE; COLOR: IRON GRAY
- 17 WOODTONE HORIZONTAL REALSOFFIT; COLOR: TEXAS HONEY BROWN/CEDAR
- 18 WOODTONE SLOPED REALSOFFIT; COLOR: TEXAS HONEY BROWN/CEDAR
- 19 SOFFIT END BLOCKING; COLOR: ARCTIC WHITE



3 HOUSE REAR ELEVATION
1/4" = 1'-0"



4 HOUSE RIGHT ELEVATION
1/4" = 1'-0"



Scale 1/4" = 1'-0"
Date 03/29/2019
Drawn AG/SC/SM
Checked SH

THIS PLAN AND DESIGN IS AND REMAINS THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE USED WITHOUT PRIOR CONSENT FROM THE ARCHITECT

PERMIT

Rev	Date	Description

HOUSE ELEVATIONS

A-3.1b